

TOWNSHIP OF VERONA
BOARD OF ADJUSTMENT APPLICATION

DATE APPLICATION 05/08/2025

CASE # 2025-05

PROPERTY ADDRESS 40 Elmwood Road, Verona, NJ 07044

BLOCK 706 LOT 3 ZONE R-60

APPLICANT'S NAME EScott Architects - Evan Scott

PHONE # 973-552-8886 CELL PHONE # 973-552-8886

EMAIL evan@escottarchitects.com

PROPERTY OWNER'S NAME Benjamin & Candida Brantley

PROPERTY OWNER'S ADDRESS 40 Elmwood Road, Verona, NJ

PROPERTY OWNER'S PHONE # 646-206-3357 CELL # 646-206-3357

PROPERTY OWNER'S EMAIL benbrantley@outlook.com

RELATIONSHIP OF APPLICANT TO OWNER Architect

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

Provide a new 2.5 story rear addition for expanded family room, bedrooms and attic. Maintain the existing house exterior wall elevation. Provide a new rear deck.

CONTRARY TO THE FOLLOWING:

~~New addition will extend over the existing property line. Height is taller than the required maximum even though it maintains the same existing roof height.~~

LOT SIZE: EXISTING 12,898 SF PROPOSED 12,898 SF TOTAL 12,898 SF

HIEGHT: EXISTING 34'-10" PROPOSED 35'-3"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 18% PROPOSED 18.53%

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 38.4% PROPOSED 38.57%

PRESENT USE SINGLE FAMILY RESIDENCE

PROPOSED USE SINGLE FAMILY RESIDENCE

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	<u>30'</u>	<u>47'-0"</u>	<u>47'-0"</u>
REAR YARD	<u>30'</u>	<u>104'-10"</u>	<u>89'-11"</u>
SIDE YARD (1)	<u>10'</u>	<u>15'-2"</u>	<u>15'-2"</u>
SIDE YARD (2)	<u>30'</u>	<u>18'-4.5"</u>	<u>15'-1.5"</u>
FRONT YARD (CORNER LOT)			

DATE PROPERTY WAS ACQUIRED 09/11/2018

TYPE OF CONSTRUCTION PROPOSED:

Masonry foundation with wood framed walls, sheathing and vinyl siding to match existing.

SIGN INFORMATION (if applicable): supply details on location, dimensions, height and illumination

AREA PER FLOOR (square feet):	EXISTING	PROPOSED	TOTAL
BASEMENT	<u>1,149</u>	<u>382</u>	<u>1,531</u>
FIRST FLOOR	<u>1,174</u>	<u>329</u>	<u>1,503</u>
SECOND FLOOR	<u>825</u>	<u>367</u>	<u>1,192</u>
ATTIC	<u>378</u>	<u>206</u>	<u>584</u>

NUMBER OF DWELLING UNITS: EXISTING ¹ _____ PROPOSED ¹ _____

NUMBER OF PARKING SPACES: EXISTING ² _____ PROPOSED ² _____

History of any previous appeals to the Board of Adjustments and the Planning Board

No

What are the exceptional conditions that warrant relief from compliance with the Zoning Ordinance?

One of the existing street front yard property lines along Claremont Avenue is angled and impedes on the required setbacks. We are maintaining the existing house line and under the coverage percentages.

Supply a statement of facts showing how relief can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zone Plan and the Zoning Ordinance

The proposed rear addition does not go higher than the existing house, and it is under the required coverage for building structures and impervious coverage. The site is sloped, therefore the average height is raised. The property line is angled and thus the new addition extends over the required setback.

History of any deed restrictions:

A legible plot plan or survey to scale (not less than 1"=100') of the property indicating the existing and/or proposed structure and scale drawings of the existing and/or proposed structure must be provided.

A copy of any conditional contract relating to this application must be filed with this application.

If the applicant is a corporation or partnership, the names, addresses and phone numbers of those owning a 10% or greater interest in the corporation shall be provided.

Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____
Name _____	Address _____	Phone # _____

Expert witness(es) that will present evidence on behalf of this application:

Attorney: Name _____
Address _____
Phone # _____
Fax # _____
Email _____

Architect/Engineer: Name EScott Architects, LLC - Evan Scott
Address 28 Arlington Avenue, Caldwell, NJ 07006
Phone # 973-552-8886
Fax # _____
Email evan@escottarchitects.com

Planner: Name _____
Address _____
Phone # _____
Fax # _____

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES

X INDICATES FENCES

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE

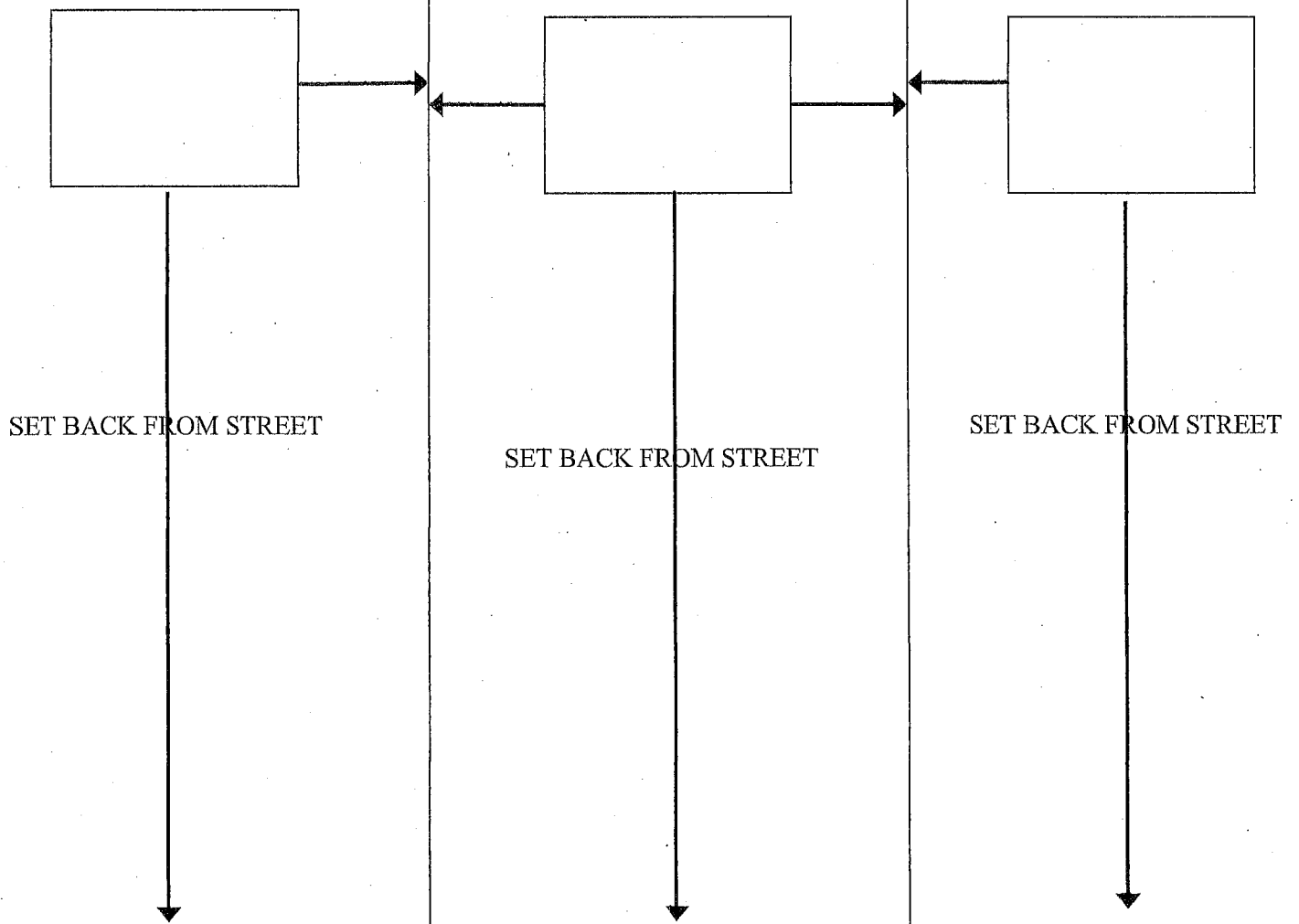
HOUSE ON LEFT

APPLICANT'S HOUSE
SHOW THE DISTANCE TO THE
PROPERTY LINE FROM
SURVEY

CENTER HOUSE

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE

HOUSE ON RIGHT

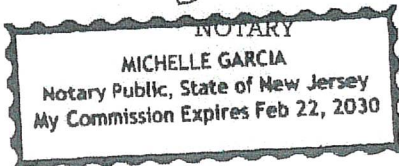
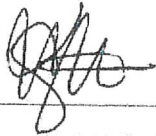


STREET

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY
COUNTY OF ESSEX

Benjamin Brantley OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON
OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 40 Elmwood Rd, IN THE CITY OF
Verona IN THE COUNTY OF Essex AND STATE OF NJ AND THAT
Benjamin Brantley IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND,
SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS
BLOCK 706 AND LOT 3 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.

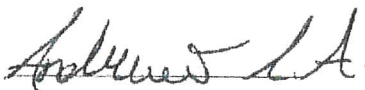


Ben Brantley
OWNER


AFFIDAVIT OF APPLICANT

COUNTY OF ESSEX
STATE OF NEW JERSEY

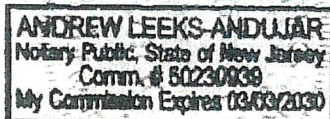
EVAN SCOTT OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON
OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED
HEREWITH ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 22 DAY OF May
2025



NOTARY



APPLICANT



TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY

TOWNSHIP MANAGER
KEVIN O'SULLIVAN
TOWNSHIP CLERK
JENNIFER KIERNAN



DEPUTY MANAGER

TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Zoning Office

880 Bloomfield Avenue, Verona, NJ 07044

973-857-4772

May 17, 2025

Zoning Permit Application #2025-058 – DENIED - Addition, Deck/Landing/Steps

Applicant: Escott Architects
Evan Scott
28 Arlington Avenue
Caldwell, NJ 07006

Owner: Ben & Candie Brantley
40 Elmwood Road
Verona, NJ 07044

Property: 40 Elmwood Road; Block 706, Lot 3

Zone: R-60 (Medium-Density Single-Family) Zone District

Submittals:

This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Site Plan by EScott Architects, signed and sealed by Evan Scott, dated March 19, 2025, last revised March 24, 2025.

ZONING REQUEST:

Based upon the zoning permit application, the applicant is seeking approval to construct a rear two-story addition with full basement and a 186 square foot deck. No other requests have been submitted or shown and therefore have not been considered in this departments review. This review for Zoning only.

ZONING DETERMINATION:

- The property is located in the R-60 (Medium-Density Single-Family) Zone District;
- The property is a corner lot with frontages on both Elmwood Road and Claremont Avenue;
- As per § 150-5.3 E. (3) Corner lot, frontage upon two streets. A corner lot having frontage upon two improved streets shall have two front yards, one side yard and one rear

yard. **The rear yard shall be located opposite the narrower frontage.** The minimum side yard setback for such lot shall be 1.5 times the minimum yard requirement. The narrower frontage is on Elmwood Road;

- As per § 150-17.3 (1) a single family home is permitted;
- As per § 150-17.3 D. (1) Minimum lot size: 7,200 square feet, existing is 12,898 square feet – Compliant;
- As per § 150-17.3 D. (2) Minimum lot width: 60 feet; existing is 65.94 feet wide on Elmwood Rd frontage and 172.54 feet on Claremont Ave frontage - Compliant;
- As per § 150-17.3 D. (3) Maximum lot coverage 25% or 3,224.5 square feet; existing is 18% or 2,319 square feet; proposed is 18.53% or 2390 – Compliant;
- As per § 150-17.3 D. (4) Maximum improved lot coverage: 40% or 5,159.2 square feet; existing is 38.4% or 4,953 square feet; proposed is 35.87% or 4,975 square feet – Compliant;

Addition - Rear Two-story Addition with Full Basement;

- Proposed additional square footage per floor:
 - Basement 382 square feet
 - 1st Floor 329 square feet
 - 2nd Floor 367 square feet
 - Attic 206
- As per § 150-17.3 E. (1) Minimum front yard setback: 30 feet;
 - Existing on the Elmwood Road 47 feet with no proposed change;
 - Existing on the Claremont Avenue frontage is 18 feet 4 ½ inches; proposed on the Claremont Avenue frontage is 16' 1" – **A variance is required;**
- As per § 150-17.3 E (2) Minimum side yard setback (one): eight feet; As per § 150-5.3 E. the minimum side yard setback for such lot shall be 1.5 times the minimum yard requirement; minimum side yard setback is therefore 12 feet; proposed is 19 feet is proposed to the NW side property line;
- As per § 150-17.3 E (5) Minimum rear yard setback: 30 feet proposed is 101± feet to addition - Compliant;
- As per § 150-17.3 E (6) Maximum height (stories/feet): 2.5/30; existing dwelling is 2.5/35' 4"; proposed addition 2.5/35' 4" - Compliant;

Deck/Landing/Steps

- Proposed deck/landing/steps 186 square feet;
- As per § 150-17.3 E (2) Minimum side yard setback (one): eight feet; As per § 150-5.3 E. the minimum side yard setback for such lot shall be 1.5 times the minimum yard requirement; minimum side yard setback is therefore 12 feet; proposed is 15 feet 1 ½ inches – Compliant;
- As per § 150-17.3 E (5) Minimum rear yard setback: 30 feet; proposed is 90' – Compliant;
- As per § 150-17.3 F. (5) Maximum height (stories/feet): 1 1/2 stories; 15 feet; landing from main story door is 8.5 feet; steps down to landing 2 feet from grade – Compliant;

Condensers (2)

- Per § 150-7.13 A. No mechanical equipment shall be located within a required minimum yard requirement and shall not extend more than five feet from the structure for which they serve;
- As per § 150-17.3 E (2) Minimum side yard setback (one): eight feet; proposed are two HVAC condensers, 3'x3' each, 19' from the NW side property line – Compliant;
- As per § 150-17.3 F (2) Minimum rear yard setback: 10 feet; proposed is 98 feet – Compliant.

Rear Yard Coverage – Rear Yard is opposite the frontage on Elmwood Road

- As per § 150-17.4 F. (4) Maximum aggregate area covered by accessory structures in the yard it is located in: 15%. Rear yard shows as 4,590 square feet measured from the last wall of the proposed dwelling addition; 15% is 688.50 square feet; proposed is 24% or 1111.75 square feet - **A Variance is required:**
 - Garage 528 SF
 - Deck/Landing/Steps 186 SF
 - Existing Rear Patio 397.75 SF
- The net disturbance is **less than 400 square feet**; Engineering / Stormwater review is not required. Although the project does not fall within the required Engineer review as net disturbance is under 400 square feet, the site is on a slope towards the rear yard and a full basement is proposed with the two store addition it is recommended.
- Plans notate that all existing trees to remain. Please refer to § 493-20 Protection of trees during construction.
- A proposed limit of disturbance of 5000 SF requires HEPSCD certification.

ZONING DECISION:

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been **DENIED** by this office.

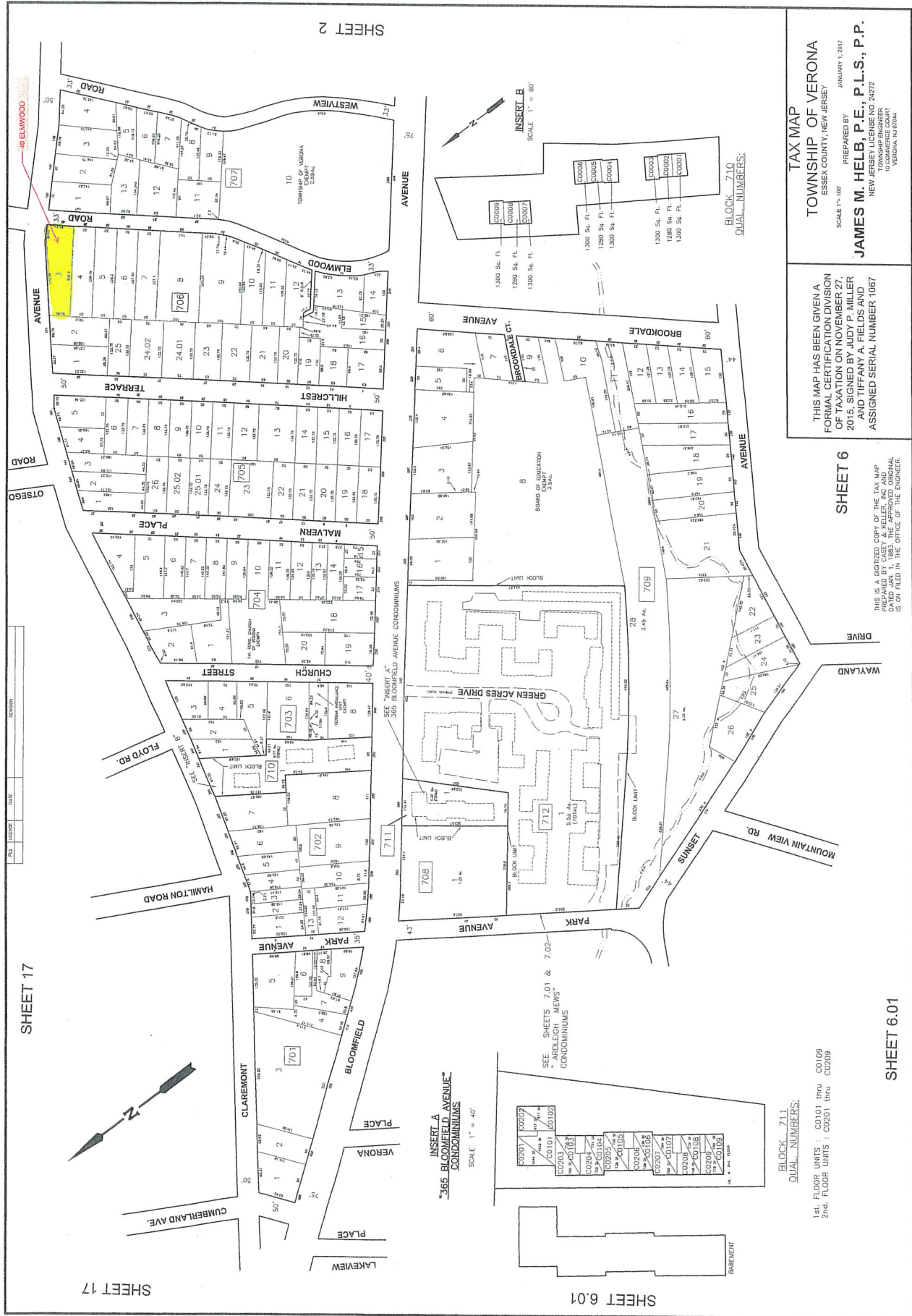
Please feel free to contact this office should you have any questions.

Respectfully Submitted,



Kathleen Miesch
Zoning Official

cc: Tom Jacobsen, Construction Official
Kristin Spatola – Technical Assistant to the Construction Official
Renee Reynolds - Technical Assistant to the Construction Official
Courtney Hofmann – Construction Dept.



SHEET 17

SHEET 17

SHEET 2

SHEET 6.01

INSERT A
"365 BLOOMFIELD AVENUE"
CONDOMINIUMS
SCALE 1" = 40'

SEE SHEETS 7.01 & 7.02
"ARLEIGH MEWS"
CONDOMINIUMS

BLOCK 711
QUAL. NUMBERS:

1st. FLOOR UNITS : C0101 thru C0109
2nd. FLOOR UNITS : C0201 thru C0209

THIS IS A DICTATED COPY OF THE TAX MAP
FOR THE TOWNSHIP OF VERONA, NEW JERSEY,
DATED JAN. 1, 1983. THE APPROVED ORIGINAL
IS ON FILE IN THE OFFICE OF THE ENGINEER.

SHEET 6

THIS MAP HAS BEEN GIVEN A
FORMAL REVIEW AND APPROVED
BY THE TOWNSHIP ENGINEER
ON JANUARY 1, 2015, SIGNED BY JUDY P. MILLER
AND TIFFANY A. FIELDS AND
ASSIGNED SERIAL NUMBER 1067

TAX MAP

TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

SCALE 1" = 100'

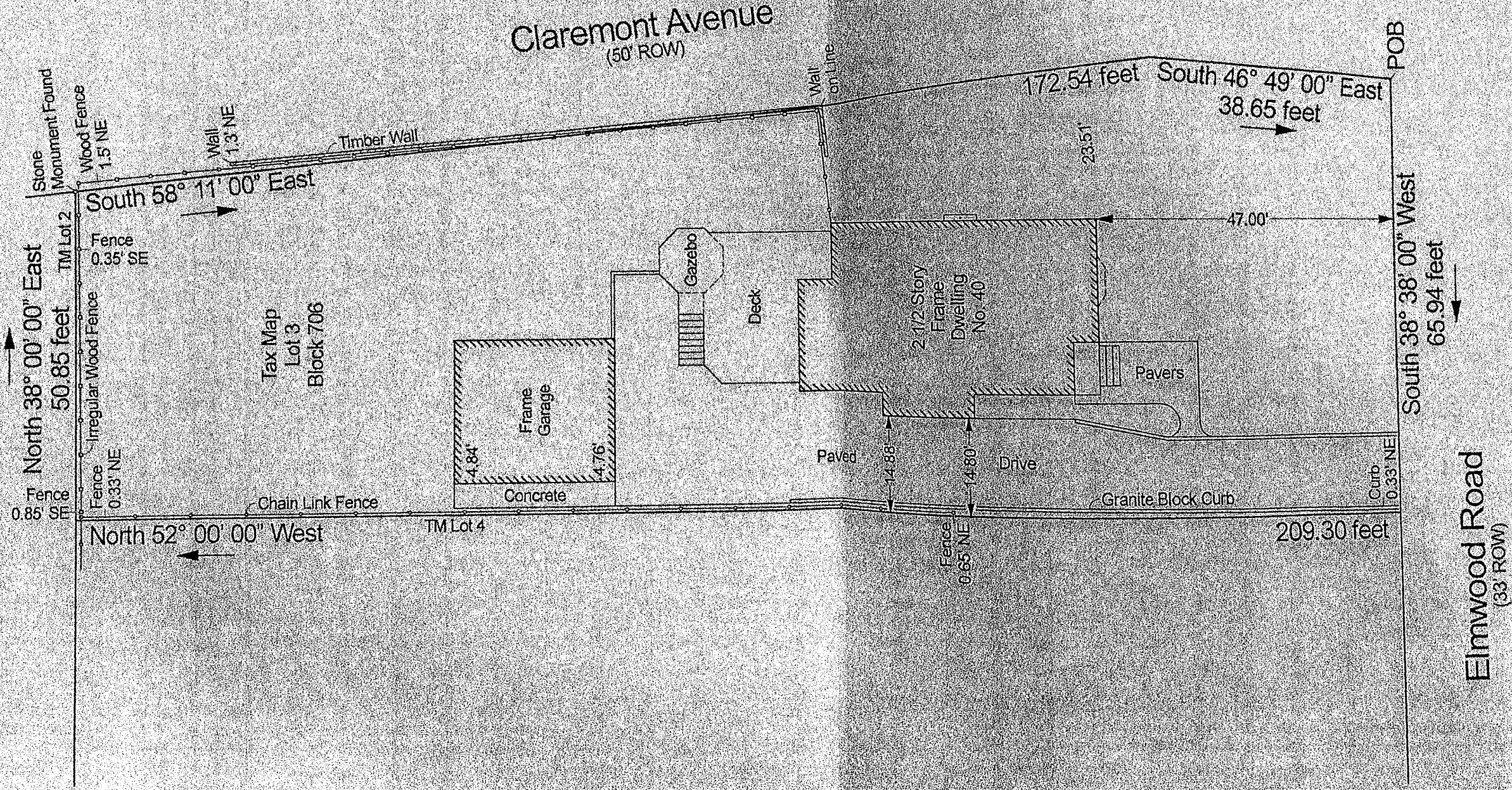
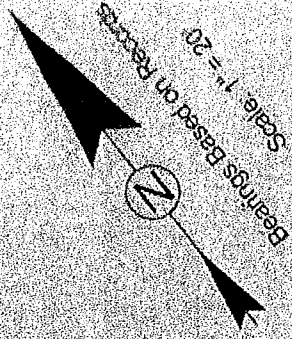
PREPARED BY
JAMES M. HELB, P.E., P.L.S., P.P.
TOWNSHIP ENGINEER
10 CUMBERLAND AVE., SUITE 200
VERONA, NJ 07093

BLOCK 710
QUAL. NUMBERS:

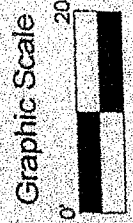
INSERT B
SCALE 1" = 60'

SHEET 6.01

MAP OF PROPERTY
situated in the
Township of Verona, Essex County, New Jersey



Being known and designated as Lot 47 on "Map of
Property of Fillmore Condit" filed in the Essex County
Clerk's Office August 9, 1890 as Map No. 234.



A written "Waiver of Setting Corner Markers" has been obtained from the ultimate user pursuant to P.L. 2003 c. 14 (N.J.S.A. 45:8-36.3) and N.J.A.C. 13:40-5.1(d).

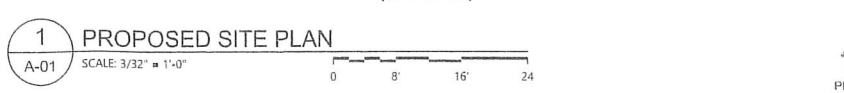
SCALE: 1" = 20'

DATE: 08/25/2018
DRAWN: F.D.
CHECKED: R.J.H.
REF.
TAX MAP
SURVEY: 18-26017
Office FAX (973) 509-8802

THIS SURVEY PREPARED ONLY FOR:
Benjamin and Candida Brantley
Edward S. Levy, Esq.
Caliber Home Loans, Inc., its successors
and/or assigns as their interest may appear.
Atlantic Title & Settlement Service, LLC

RICHARD J. HINGOS INC.
PROFESSIONAL LAND SURVEYORS
539 VALLEY ROAD P.O. BOX 43752
UPPER MONTCLAIR, NJ 07043
TELEPHONE (973) 783-1114
EMAIL: RJHINGOS@COMCAST.NET

RICHARD J. HINGOS, JR. N.J. LIC. NO. 43231
PROFESSIONAL LAND SURVEYOR
CERTIFICATE OF AUTHORIZATION NO. 24GA28046000



Architectural floor plan showing plumbing layouts across three levels: First Floor, Second Floor, and Basement. The plan includes various rooms and fixtures, with plumbing fixtures and venting paths indicated.

Second Floor:

- Renovated Hall Bathroom:** Includes a TUB, WC (Toilet), and LAV (Lavatory). Venting paths are shown with dimensions: 3", 2", 1-1/2", and 3".
- Primary Bath:** Includes two LAVs, a WC, and a SHOWER. Venting paths are shown with dimensions: 3" and 3".

First Floor:

- Proposed Bath:** Includes a WC and a LAV. Venting paths are shown with dimensions: 3", 2", 1-1/2", and 3".
- Renovated Kitchen:** Includes a KITCHEN SINK and a DISH WASHER. Venting paths are shown with dimensions: 1-1/2", 3", and 1-1/2".

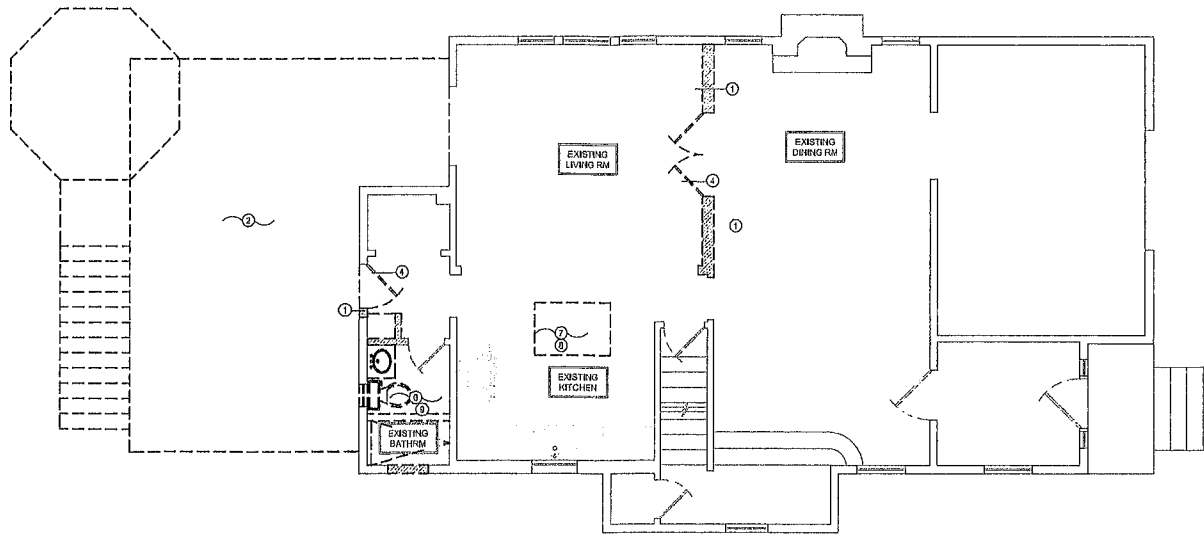
Basement:

- Exist Bath:** Includes a SHOWER, WC, and LAV. Venting paths are shown with dimensions: 3" and 3".
- Exist Laundry:** Includes an EXISTING WASHING MACHINE and a UTILITY SINK. Venting paths are shown with dimensions: 3" and 3".

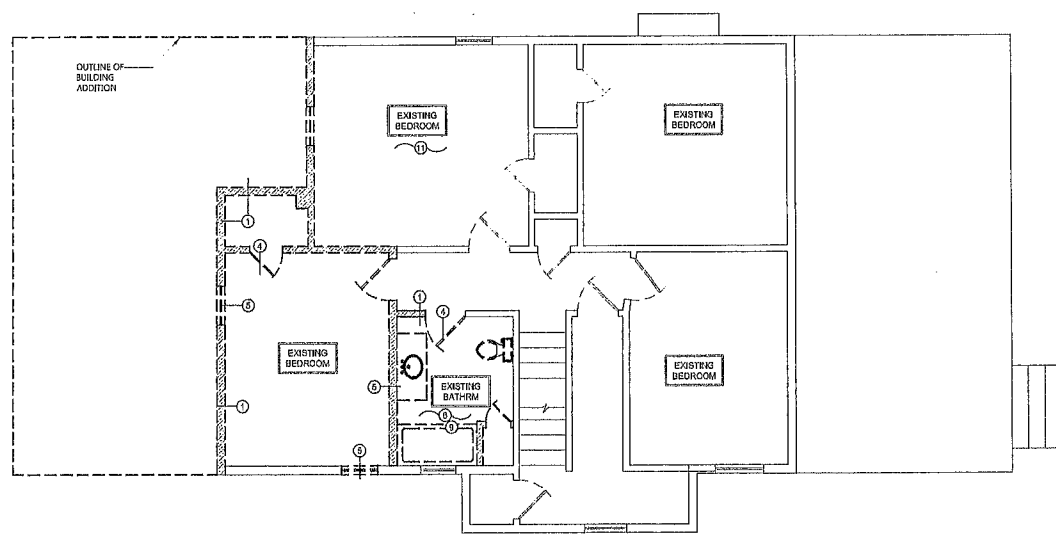
Plumbing Details:

- Stack Vent Terminals:** Indicated as 1'-0" ABOVE ROOF.
- Cleanouts:** Labeled as C.O. and EXIST. WASTE LINE TO STREET.
- Dimensions:** Various dimensions are provided for venting paths and fixture spacing, including 3", 2", 1-1/2", and 1'-0".

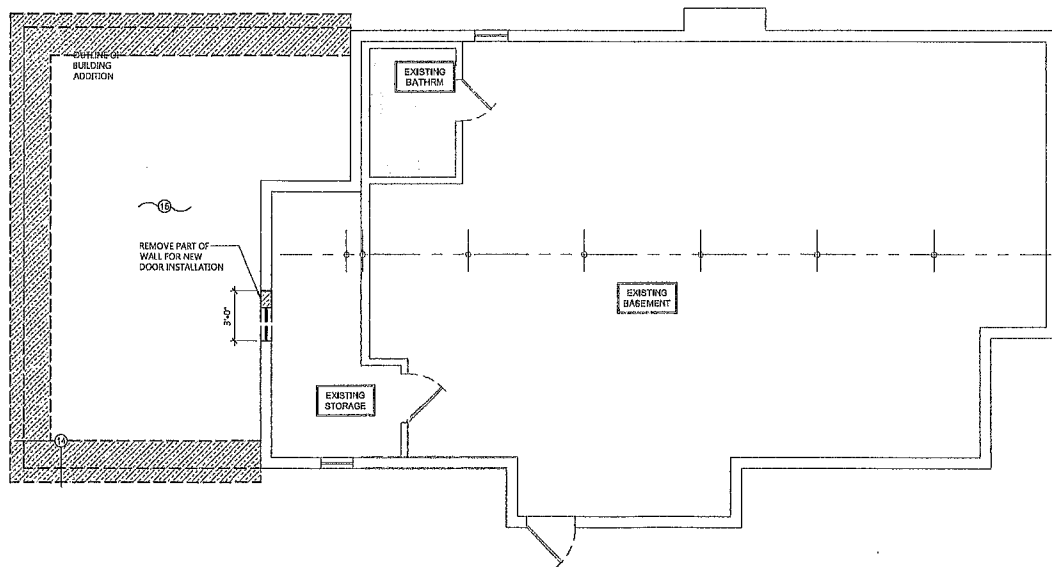
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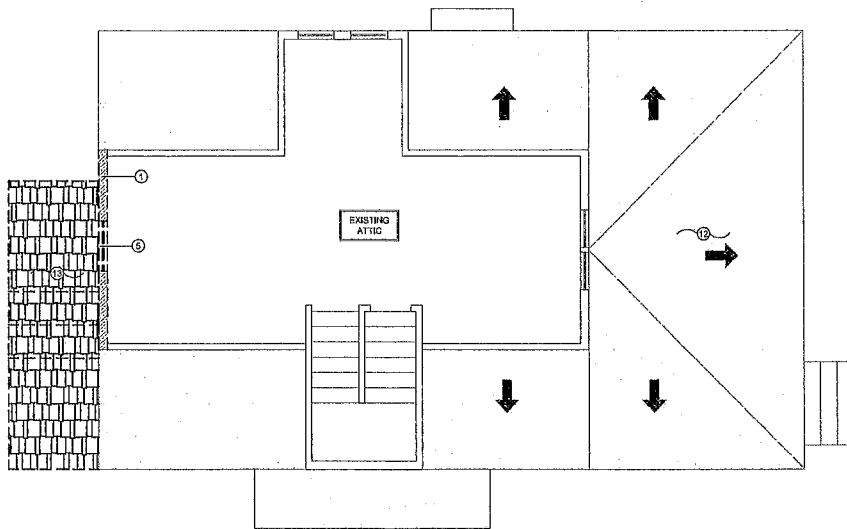
1 DEMOLITION FIRST FLOOR PLAN
A-02 SCALE: 3/16" = 1'-0"



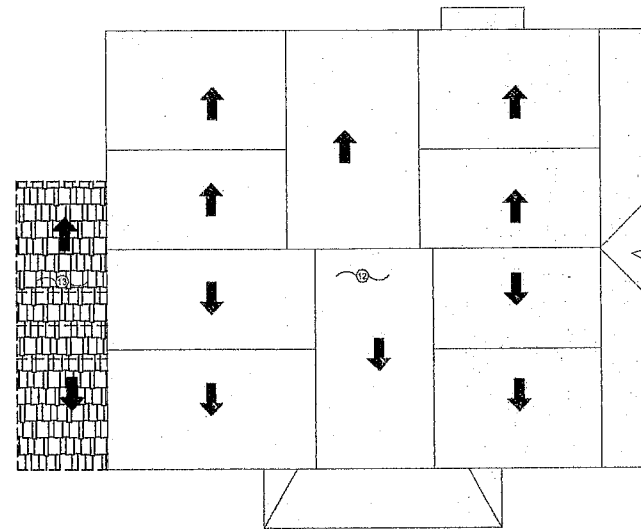
2 DEMOLITION SECOND FLOOR PLAN
A-02 SCALE: 3/16" = 1'-0"



3 DEMOLITION BASEMENT PLAN
A-02 SCALE: 3/16" = 1'-0"



4 DEMOLITION ATTIC PLAN
A-02 SCALE: 3/16" = 1'-0"



5 DEMOLITION ROOF PLAN
A-02 SCALE: 3/16" = 1'-0"

DEMOLITION LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
	ROOM NAME

GENERAL DEMOLITION NOTES

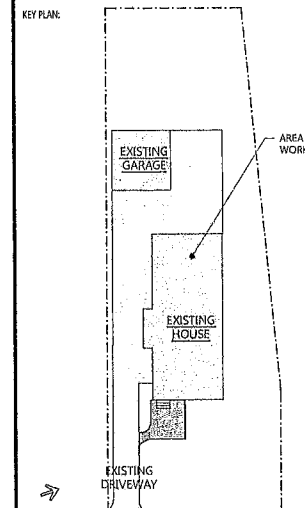
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL, PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-06.
- CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
- CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
- CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
- EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
- CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.

DEMOLITION KEY NOTES

- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE.
- EXISTING DECK AND ASSOCIATED ITEMS TO BE REMOVED IN ITS ENTIRETY INCLUDING FOUNDATION AND GAZEBO STRUCTURE.
- EXISTING SLAB, PATIO AND ASPHALT TO BE REMOVED, PERFORM EXCAVATION FOR NEW FOOTINGS (BUILDING ADDITION AND STAIRS)
- REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
- REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
- EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
- EXISTING KITCHEN ISLAND ONLY TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
- EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO REMAIN. CONTRACTOR TO PROTECT AND SALVAGE CABINETS.
- EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
- EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
- PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
- EXISTING ROOF SHINGLES TO REMAIN.
- REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
- CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
- PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE



EsScott Architects, LLC
28 Arlington Avenue
Caldwell, NJ 07006
P. 973.352.0886 | F. 973.660.1905 | info@esscottarchitects.com



NO.	DATE	DESCRIPTION
2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID

PROJECT:
BRANTLEY RESIDENCE

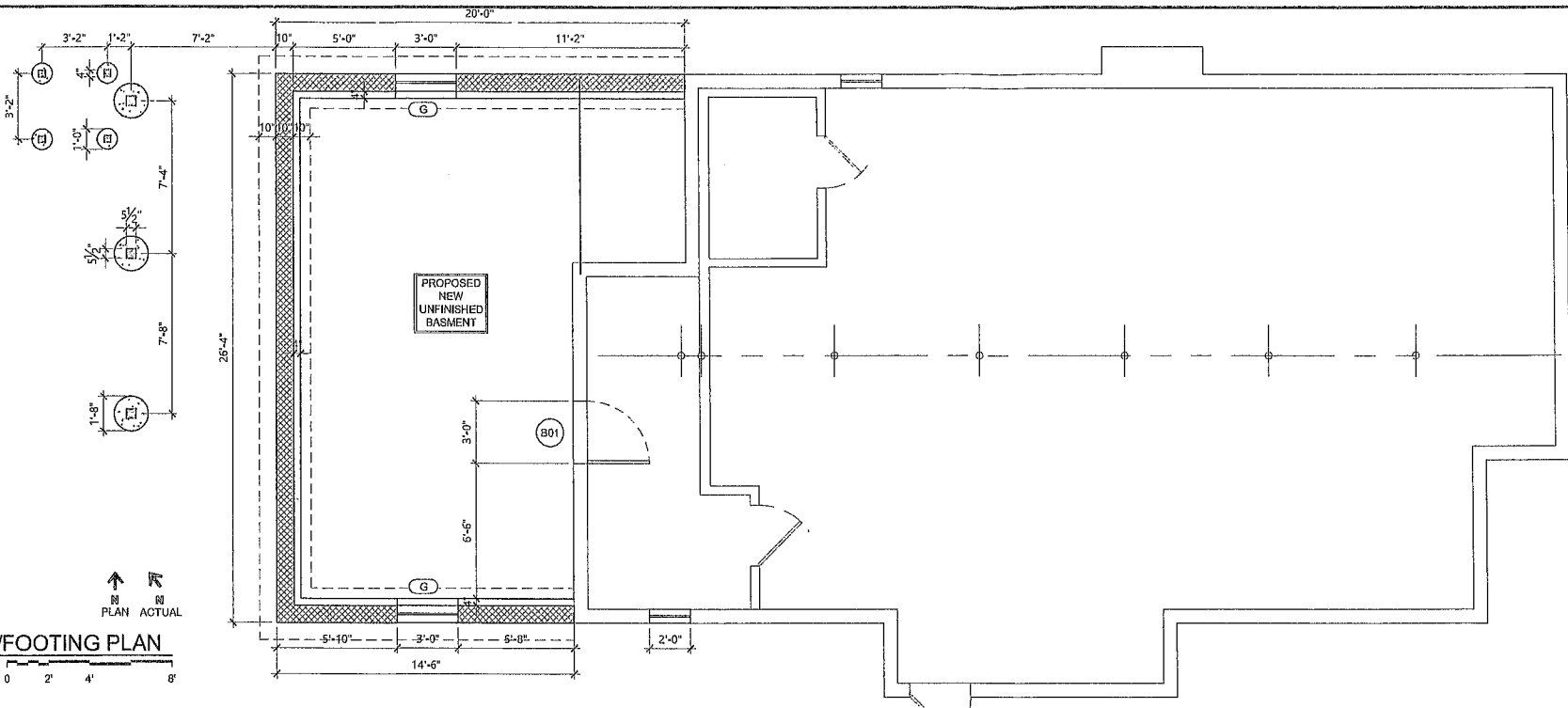
40 ELMWOOD
VERONA, NJ 07044

DEMOLITION FLOOR PLANS AND NOTES

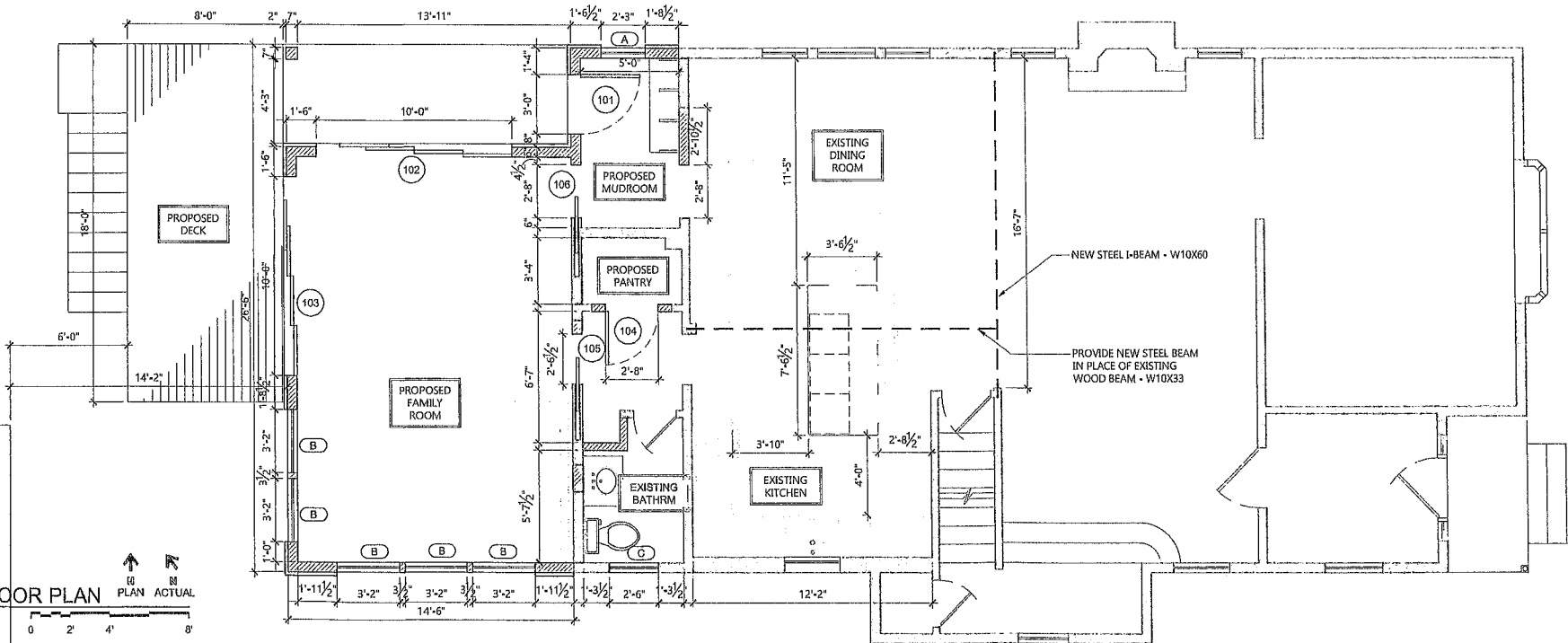
DRAWN BY: MMH	CHECKED BY: ES
DATE: FEB 2025	PROJECT NO: ES-2436

DRAWING NO:
A-02

1 PROPOSED BASEMENT/FOOTING PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

#	TYPE OF DOOR	HARDWARE	WIDTH	HEIGHT	NOTES
BASEMENT FLOOR					
B01	NEW WOOD TWO-PANEL DOOR	PASSAGE	3'-0"	6'-8"	BASEMENT
FIRST FLOOR					
101	FIBERGLASS ENTRY EXTERIOR DOOR	ENTRY	3'-0"	6'-8"	50% GLAZING
102	10' WIDE TELESCOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING
103	10' WIDE TELESCOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING
104	SOLID WOOD 2-PANEL DOOR	PASSAGE	2'-8"	6'-8"	PANTRY
105	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-6"	6'-8"	PANTRY
106	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-8"	6'-8"	MUDROOM
SECOND FLOOR					
201	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM
202	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM
203	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
204	NEW SOLID WOOD TWO PANEL DOUBLE DOOR	PASSAGE	(2) 2'-0"	6'-8"	LAUNDRY
205	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
206	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
207	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BATHROOM
ATTIC FLOOR					
301	NEW WOOD 2-PANEL WOOD DOOR	PASSAGE	2'-6"	6'-8"	CLOSET

DOOR NOTES

- ALL EXISTING ROOM ENTRY DOORS TO BE REPLACED AS SHOWN.
- ALL INTERIOR DOORS TO HAVE SOLID BLACK DOOR KNOBS + HARDWARE (OR) TO MATCH EXISTING, CONFIRM FUNCTIONS AND MATERIAL WITH OWNER.
- ALL DOORS TO BE SOLID CORE WOOD 6 PANEL DOORS. CONFIRM DOOR STYLE AND MATERIAL WITH OWNER.
- CONFIRM NEW DOOR HEIGHT WITH EXISTING DOORS AND EXISTING OPENINGS WHERE REQUIRED.

WINDOW SCHEDULE

#	TYPE OF WINDOW	R.O. WIDTH	UNIT HEIGHT	NOTES
BASEMENT FLOOR				
G	NEW VINYL HOPPER WINDOW	3'-0"	2'-0"	BASEMENT - QTY=2
FIRST FLOOR				
A	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	4'-0"	TEMPERED - QTY=1
B	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	5'-9"	QTY=5
C	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=1
SECOND FLOOR				
D	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	4'-9"	EGRESS WINDOW - QTY=6
ATTIC FLOOR				
E	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=2
F	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	3'-0"	QTY=2

WINDOW NOTES

- ALL WINDOWS TO HAVE INSULATED LOW-E GLASS, SCREENS, AND HARDWARE TO MATCH EXIST.
- ALL TRIM TO MATCH EXISTING WHERE TO REMAIN. SILL HORNS TO EXTEND FOR TRIM, ALL EXTERIOR WALLS 2X6 WOOD STUDS (VERIFY IN FIELD).
- ALL EGRESS WINDOWS TO BE PER NJ CODE - 5.7 SQ FT CLEAR OPEN'G, 24" MIN. HEIGHT, 20" MIN. WIDTH MAX. 44" SILL HEIGHT ABOVE FINISH FLOOR.
- WINDOWS TO CLOSELY MATCH EXISTING AS POSSIBLE IN SIZE, DESIGN AND MATERIAL.
- CONTRACTOR TO CONFIRM WITH OWNER REGARDING STYLE, MATERIAL AND OPTIONS FOR ALL WINDOWS.
- NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD ON BOTH SIDES OF WALL WHERE 6" WALL. PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
- NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
- NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER. EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER.
- NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- NEW CLOSET/PANTRY SHELVING AS SELECTED BY OWNER.
- NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.
- NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF NEW WORK.
- NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
- NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.

CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / cabinets as selected by owner
- 4" TYP. NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. # ELEVATION/SECTION KEY DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

- DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR. NEW ROOF TO HAVE R-48. NEW FLOOR TO HAVE R-19. BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
- PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
- NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
- PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021.8.302.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
- FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

CONSTRUCTION KEY NOTES

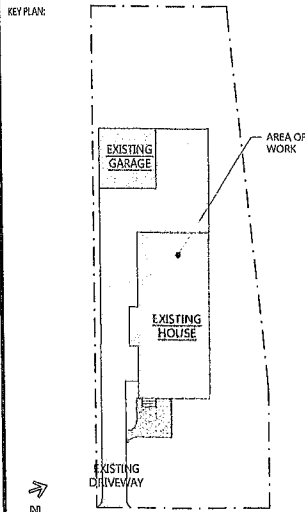
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- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.



EsScott Architects, LLC
28 Arlington Avenue
Caldwell, NJ 07006

P: 973.552.8198 F: 973.650.1955 info@esscottarchitects.com

KEY PLAN



NO.	DATE	DESCRIPTION
2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID

PROJECT:

BRANTLEY
RESIDENCE

40 ELMWOOD
VERONA, NJ 07044

DRAWING TITLE:

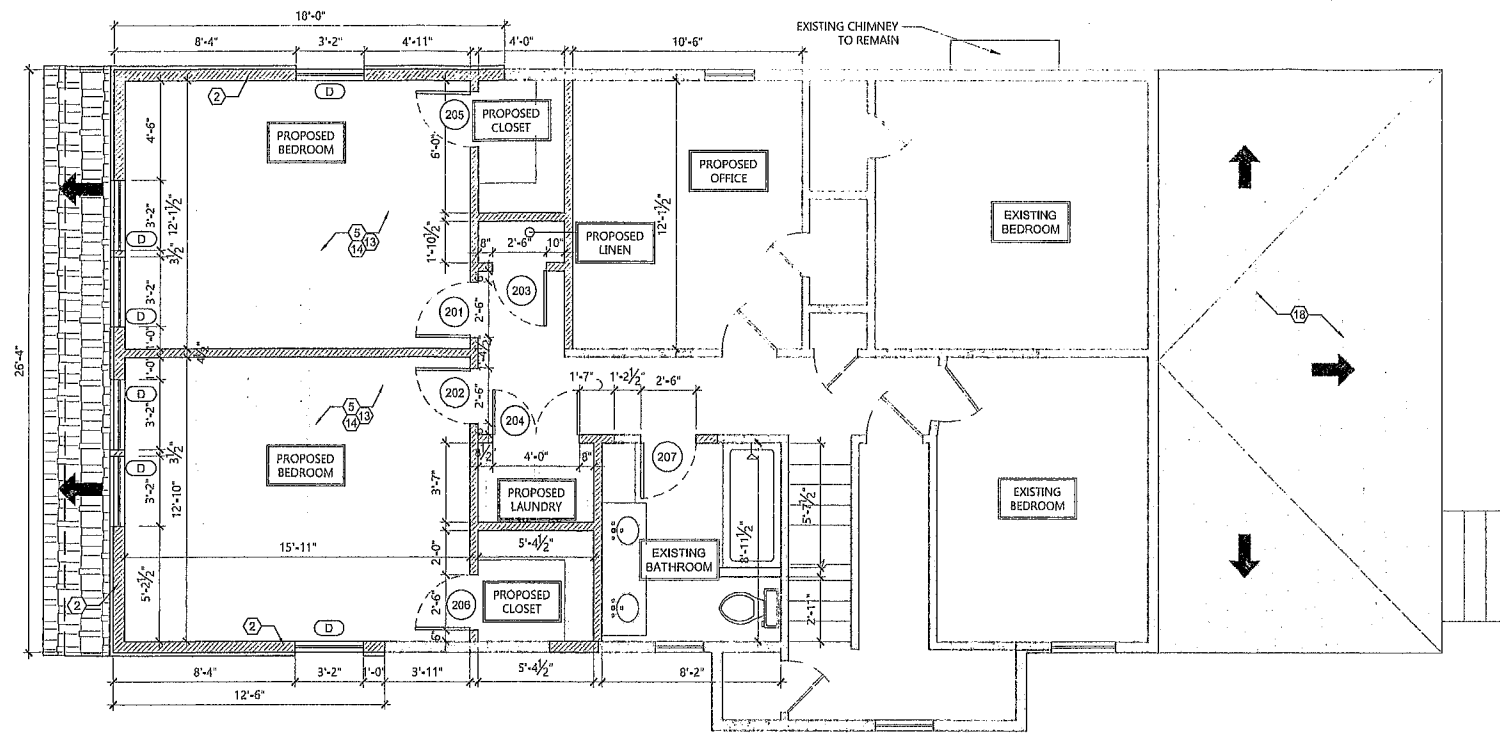
PROPOSED
BASEMENT & FIRST
FLOOR PLANS

DRAWN BY:	CHECKED BY:
MMH	ES
DATE:	PROJECT NO:
FEB 2025	ES-2436

DRAWING NO:

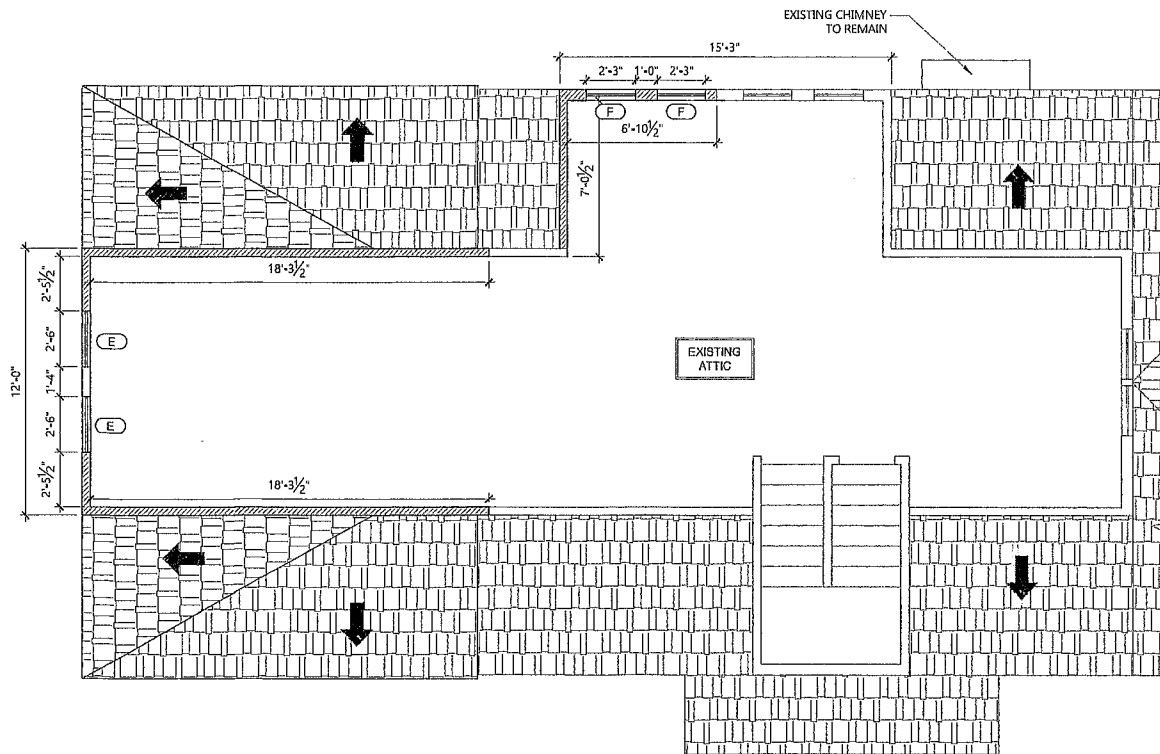
A-03

SHEET: 3 of 10



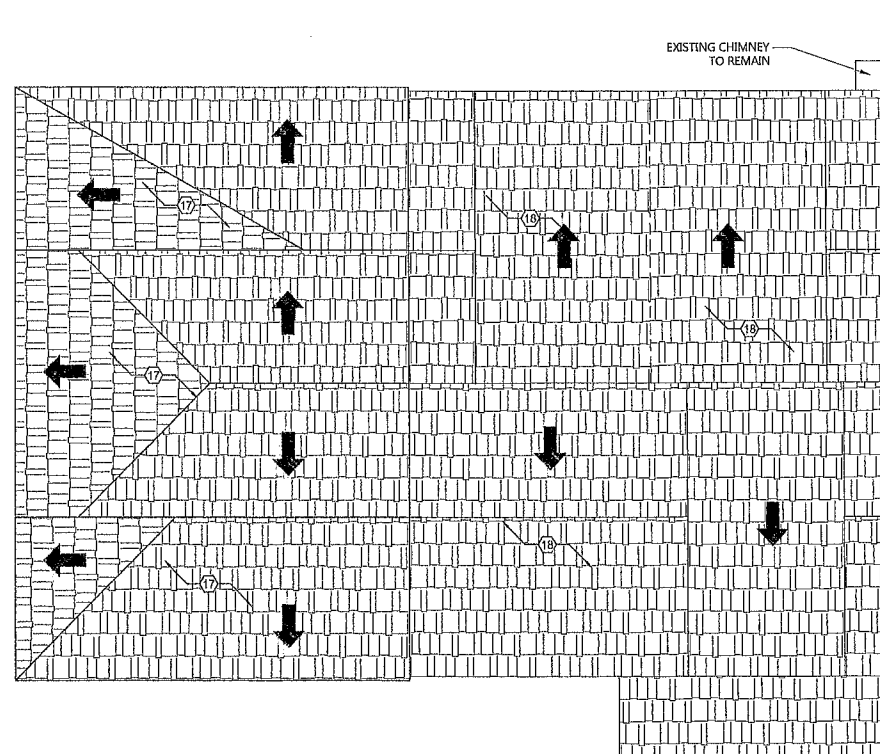
1 PROPOSED SECOND FLOOR PLAN
A-04 SCALE: 1/4" = 1'-0"

PLAN ACTUAL



2 PROPOSED ATTIC PLAN
A-04 SCALE: 1/4" = 1'-0"

PLAN ACTUAL



3 PROPOSED ROOF PLAN
A-04 SCALE: 1/4" = 1'-0"

PLAN ACTUAL

CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / CABINETS AS SELECTED BY OWNER
- 4" TYP.
- NEW DOOR & FRAME TO BE INSTALLED
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED
SEE WINDOW SCHEDULE FOR TYPE
- DET. #
ELEVATION/SECTION KEY
DWG #
- NAME ROOM NAME
- XX DENOTES KEY NOTE, SEE KEY NOTES RIGHT

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- FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

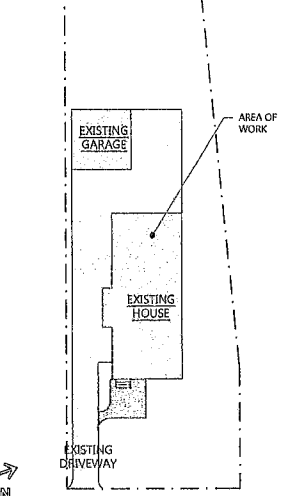
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EScott Architects, LLC
28 Arlington Avenue
Caldwell, NJ 07006

KEY PLAN:



NO.	DATE	DESCRIPTION
2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID

PROJECT:

BRANTLEY RESIDENCE

40 ELMWOOD
VERONA, NJ 07044

DRAWING TITLE:

PROPOSED
SECOND, ATTIC &
ROOF FLOOR PLANS

DRAWN BY: MMH	CHECKED BY: ES
DATE: FEB 2025	PROJECT NO: ES-2436

DRAWING NO:

A-04

SHEET: 4 of 10